 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	27 th September
	REPORT OF:	HEAD OF PLANNING
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AGENDA ITEM:	5	WARD: MVJ - Meadvale And St Johns

APPLICATION NUMBER:	a) 22/02444/F & b) 22/02460/LBC	VALID:	14/11/2023
APPLICANT:	Aaliyah Developments	AGENT:	Sennitt Planning
LOCATION:	WHITE LION PUBLIC HOUSE 40 LINKFIELD STREET REDHILL SURREY RH1 6BY		
DESCRIPTION:	Change of use of existing from public house to single dwelling and the erection of two semi-detached houses. As amended on 24/08/2023.		
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This application is referred to Committee in accordance with the Constitution as the development results in a net gain of three dwellings.

SUMMARY

This is a full application for the change of use of the existing building from a public house to a single dwelling and the erection of two semi-detached houses on land to the south.

The application site is currently occupied by the White Lion Public House and associated car parking area, which is currently vacant and has been since 2018. The White Lion is the oldest building in continuous use as a public house in Redhill and Reigate, and the second oldest in the Borough, the earliest parts of the building dating from the 16th Century. The building is detached and a mix of hipped and pitched roofs, with a number of later extensions added in later centuries. The site is located within the Linkfield Street Conservation Area and is predominantly residential in character and comprised of mainly Victorian/ Edwardian dwellings with a smaller number of later dwellings interspersed throughout.

The proposed conversion of the pub would result in the loss of a community facility as defined within both the National Planning Policy Framework 2023 (NPPF) and Policy INF2 of the Reigate and Banstead Development Management Plan 2019

(DMP). The property has been vacant since September 2018 and prior to the submission of the application, had been subject to a marketing exercise for a period of 18 months. Whilst a number of enquiries were made for public house use, with a number of internal viewings, ultimately these were not pursued either because the asking price was not met or the potential difficulties and potential expenditure required to take on a Grade II listed building. The applicant submitted a marketing exercise which demonstrates that requirements of policy INF2 and Annex 3 of the DMP have been met with regards to demonstrating that there is no reasonable chance of the building being bought back in to use for a pub or other such community facility. In addition there are a number of other public houses within 500m of the site (the Red Lion, The Garibaldi and The Hatch) therefore the loss of the pub use would not result in a shortfall in provision of these services locally. The Councils' Planning Policy officers have been consulted on the application and are satisfied that the requirements of Policy INF2 have been met. The pub was also the subject of an Asset of Community Value made in 2019 which expired in August 2022.

This application follows a refusal in 2019 of a scheme for the conversion of the pub to 3 apartments which was refused on harm to the listed building, loss of the pub use as a community facility, harm to the character of the Conservation Area and poor amenity to one of the flats.

The conversion now proposed to a single dwelling, plus extended marketing period and improved design of the new-builds, aims to overcome these objections.

The proposed conversion of the White Lion would involve the removal of a number of 20th and 21st Century extensions to the east side of the building, and their replacement with new two storey height extension with pitched roof which would respect the character and form of the building. The 16th Century core of the building would be retained, along with its most characterful features, including two inglenook fireplaces. The conversion to a single dwelling is considered the most appropriate as it would require a limited number of internal changes, limiting impact on the historic structure of the building. Externally the existing name and signage would remain, meaning the historic use of the building would continue to reference locally.

The proposed semi-detached dwellings would be of an appropriate design that would be in keeping with the Victorian/ Edwardian character of dwellings in the locality, reflecting the modest height and pitched roof form of properties opposite the site on Linkfield Street. The height of the dwellings and separation from the pub building would be such that it would not harm the setting of the building.

The new dwellings would have an acceptable level of impact on neighbouring properties, by virtue of the distance from properties on Grovehill Road to the east.

The proposed level of parking would meet the required standards of the DMP, with 6 spaces being provided in total (2 per dwelling). Parking would be located centrally between the dwellings, with a new access point from Linkfield Street. The County Highway Authority (CHA) has reviewed the application and raises no objection subject to conditions.

A number of low quality trees are proposed to be removed from the site, however it proposed to replace these with replacement and additional planting, including native hedging, which would be secure by a condition requiring the submission of a landscaping scheme.

RECOMMENDATION(S)

Planning permission is **GRANTED** subject to conditions.

Consultations:

County Highway Authority (CHA): The CHA has assessed the application on safety, capacity and Policy grounds and is satisfied that the development would not give rise to harm to the safe operation of the highway subject to conditions and informatives requiring the provision of the proposed modified access, space for parking and turning, pedestrian intervisibility splays, cycle storage provision, and electric vehicle charging points.

Archaeological Officer: Whilst there is potential for remains dating from the later Medieval or post Medieval periods, they would likely be of local significance therefore they would not require preservation in situ, therefore it would be reasonable to require the evaluation to be carried out post decision. A condition requiring the submission of a Written Scheme of Investigation (WSI) prior to commencement has been recommended.

Contaminated Land Officer: There is potential for the presence of ground contamination therefore appropriate conditions and informatives recommended.

Representations:

Letters were sent to neighbouring properties on the 16th November 2022. A total of 12 responses were received. Following the submission of amendments re-consultation with neighbouring properties took place on 5th September 2023. A further 1 response has been received. The following issues have been raised:

Issue	Paragraph(s)
Poor design	See paragraph 6.7-6.17
Overlooking and loss of privacy	See paragraph 6.18-6.22
Harm to Conservation Area	See paragraph 6.7-6.17
Harm to listed building	See paragraph 6.6-6.16
Inadequate parking	See paragraph 6.7-6.17
Hazard to highway safety	See paragraph 6.26-6.30
Inconvenience during construction	See paragraph 6.38
Increase in traffic and congestion	See paragraph 6.26-6.30
Loss of/ harm to trees	See paragraph 6.31-6.32
Noise and disturbance	See paragraph 6.38

Five letters of support have been received on the grounds of the building being no longer viable for a pub use and the proposed development would improve the visual quality of the site and safeguard the future of the historic building. Further support on the grounds of benefits to housing needs and the community/ regeneration benefits are identified.

1.0 Site and Character Appraisal

- 1.1 The site relates to The White Lion public house, which is a grade II listed building in the heart of Linkfield Street village and Conservation Area. Linkfield Street is the oldest settlement in Redhill. The White Lion is the oldest building in continuous use as a public house in Redhill and Reigate, and perhaps the second oldest in the Borough. White Lion is a public house name principally used in the Tudor period, and as one of the Kings Beasts, symbolic of the house of York. The building is two storey with bar and kitchen area on ground floor and living accommodation above. There is a large car park to the right side of the site (south) for approximately 20 cars and garden areas to the rear of the Public House. The pub was the subject of an Asset of Community Value, registered in 2019 but expired in August 2022.
- 1.2 The public house has a 16th century core, two rooms to the front and one to the rear around a central chimney with back to back inglenook fireplaces at the ground floor. To the south is a 17th century room and to the north a lean to of early date and a small 17th century gabled extension. With the creation of Grovehill Road in the 1860's, a corner entrance was created and the floor at the north end lowered. The front fascia board with supporting corbels and pilasters may date from this period. In 1899 Mellersh & Neale acquired the public house and remodelled the exterior with applied timber plank framing and stained glass windows, and a large bay window to the north. The bar counter (excluding the inglenook) is modern. The 16th century frame survives very well internally, and the beamed ceilings are original with lambs tongue stops and chamfers. There is no evidence of these ceilings or framing being renewed. The inglenook above the bar has a salt store alcove and a bread oven opening. The fireplace in the principal front bedroom has a Tudor arch fireplace, which needs investigation as to whether it is a 16th century Reigate Stone fireplace or an early 19th century copy, in either case it forms the focal point of the room.
- 1.3 The site is within a predominantly residential area and is bounded by residential properties on all sides which are typically detached/semi-detached and generally two storeys in scale. The Local Distinctiveness Design Guide identifies the site as lying within an area of Victorian/Edwardian development: buildings of this architectural era typify the immediate environs of the site. The site is 40.3m wide across Linkfield Street and 30.2m deep across Grovehill Road. A total area being of 1112m² which equates to 0.112 Hectares. There are a number of trees on the site as well as other forms of vegetation, some of which appears self-seeded.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: The applicant did approach the local planning authority informally for advice prior to submission of the application. Advice was given with regard to the design and works required to address reasons for refusal of previous applications. The principle of the development was also discussed. Advised that a conversion of the pub to a single dwelling the more likely option, however, would be dependent on the nature of the conversion. Proposed new dwellings would need to be sympathetic to the setting of the listed building as well as reflect the character of the Conservation Area.
- 2.2 Improvements secured during the course of the application: amended plans have been sought during the course of the application to address concerns raised with regard to the design of the proposed semi-detached dwellings and their impact on the setting of the statutory listed building.
- 2.3 Further improvements could be secured: Further improvements can be secured by way of appropriately worded conditions and informatives.

3.0 Relevant Planning and Enforcement History

There is extensive planning history associated with the site. The most relevant applications are listed below.

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| 3.1 | 12/01098/LBC | proposed installation of Fire Alarm system and emergency lighting, upgrading the basement, creating an external means of escape to rear courtyard and upgrading basement door: | Approved with conditions
13/08/2012 |
| 3.2 | 12/01106/F | Proposed installation of Fire Alarm system and emergency lighting, upgrading the basement, creating an external means of escape to rear courtyard and upgrading basement door | Approved with conditions
13/08/2012 |
| 3.3 | 19/00172/F | Conversion of the White Lion Pub into three self-contained apartments and construction of two new four bedroom semi-detached houses | Refused
23/05/2019 |
| 3.4 | 19/00173/LBC | Conversion of the White Lion Pub into three self-contained apartments and construction of two new four bedroom semi-detached houses. | Refused
23/05/2019 |

4.0 Proposal and Design Approach

- 4.1 This is a full application for the conversion of the White Lion pub in to a single dwelling, and the erection of two semi-detached dwellings on land to the south.
- 4.2 Beginning with the existing pub building, much of the form of the existing building would remain, however it is proposed to remove later extensions and additions at the side of the building, which are considered to have minimal heritage value, with the oldest parts of the building remaining. This would include the demolition of the existing single and two storey additions to the east which contain the existing kitchen facilities and first floor bathroom. These extensions would be a max. height of 6.2m with pitched roofs, the angle of which would reflect the existing building. It is proposed to create a new entrance on the east elevation of the property within a new two storey extension, which would reorientate the building to the east. The existing elevations facing towards Linkfield Street and Grovehill Road would remain unaltered.
- 4.3 The original C16th bays would serve the proposed kitchen and dining room, retaining the existing balcony style added in the C19th between the two finished floor levels, retaining the visual connection. The existing inglenook fireplace (also C16th) is retained, and it is intended to bring this back into function and enhancing this Heritage feature. The Victorian bar additions to the north would form a breakfast room with access off from the kitchen. The additional bay to the south contains the living room, forming a quiet space separate from the other more open social spaces, with the existing door opening previously leading to the existing pub kitchen as the entrance to the room off of the new entrance hall to the rear of the property, providing compliant access as means of escape in case of fire.
- 4.4 The C16th eastern bay forms a snug with the second existing inglenook fireplace as the central feature. The south wall, which is assessed to be modern and of no heritage value, would be opened up, forming a new full height window allowing natural light into this room and views out onto the entrance of the property.
- 4.5 The more public facing aspects of the building would remain, including the name of the pub on the north, east and south elevations. To the south side and rear of the building would be an area of private garden for the dwelling, which would be separated off from the parking area by a fence around the southern boundary.
- 4.6 To the south of the parking area it is proposed to construct a pair of semi-detached dwellings. They would be matching in appearance and would be 7.6m in height, 3.5m to the eaves and 9.2m in depth, with lower eaves and ridge height than the previous proposals. They would have pitched roofs and would feature two pitched roof dormer windows to the principal elevation and

pitched roof gables to the rear elevations. Each dwelling would have access to a private garden, which would also feature small access gates on to the parking area. In terms of materials it is proposed to utilise plain clay tiles for the roof, white painted timber framed windows, and hanging tile to the upper floors.

- 4.7 To the south-east of the wider site would be an area for parking which would serve all three properties, accessed via Linkfield Street to the west. New entrance gates would prevent unauthorised access to the site. A refuse collection point is proposed to be positioned adjacent to the north of the access gates.
- 4.8 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.9 Evidence of the applicant's design approach is set out below:

Assessment	<p>The submitted heritage statement makes the following points:</p> <p>The White Lion Public House is identified as being located on the east side of Linkfield Street on the corner where Grovehill Road joins Linkfield Street from the east. The site is located 0.5 miles to the west side of central Redhill towards Reigate in a built-up residential area and within the Linkfield Street Conservation Area.</p> <p>Linkfield Street is a steep hill descending south to north, resulting in the site having a heavy slope. A hard standing car park area is located to the south side of the site, with The White Lion Public House a detached Grade II building to the north of the site directly on the corner of Linkfield Street and Grovehill Road, and a pub garden to the rear and east.</p> <p>The residential area of Linkfield Street comprises a number of detached, semi-detached and terraced properties to the east and west sides of the road. Materiality consists predominantly of red/brown brickwork and clay tile hanging, timber framed windows and doors with decorative timber gables. Properties are predominantly two stories with a variety of hip and gable ended roof pitches, detached semi-detached and terraced</p>
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	<p>properties. The mid-section, at the junction with Grovehill Road and the location of the site, includes tall two storey properties with rooms in the roof, semi-detached Victorian villas which are decorated in clay hung tiles at first floor level and have parts of the ground floor built in Reigate stone. There is also a C20th development to the south side of Grovehill Road, attached to one of the Victorian properties, on the junction with the site using a modern square clay tile hanging and an off-white render finish.</p> <p>This vocabulary is continued on Grovehill Road on the north side where villas are in Greenland stone and tile hung. Properties are terraced and 2-storey on the north side, and semi-detached properties over 3-storeys responding to the steep slope and change in ground level to the south side.</p> <p>Directly opposite the site on Linkfield Street is a row of 5no. terraced properties under a gable pitched slate roof with dormer windows, using yellow/brown brickwork with red brick banding to add detail to the fenestration. Composition includes a small mono-pitched open porch.</p> <p>The architectural vocabulary of the White Lion Public House is unique on Linkfield Street.</p> <p>The existing feature of the White Lion which identify the building as being a pub would be retained, specifically the name of the pub on the external elevations, as well as internal features such as the inglenook fireplaces and 16th Century core of the building.</p>
Involvement	It is not indicated that community consultation took place.
Evaluation	It is stated that a series of design options have been explored, all of which were based on minimal or no intervention on the historic fabric beyond and over that had already occurred before legislation. The applicant also engaged with the Council for pre-application advice to discuss design options for the proposed semi-detached dwellings.
Design	The current proposal seeks to minimise harm to the listed building. The proposal centres on alterations to the modern additions that have no heritage value which includes dismantling of the existing single and two storey additions to the east which contain the existing kitchen facilities and first floor bathroom. These elements of the existing building have low to no Heritage value and

	therefor the harm to the historic building in their removal is minimal.
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4.10 Further details of the development are as follows:

Site area	0.11Ha
Site Density	27.2 d.p.h
Existing use	Public House Vacant (Sui Generis)
Proposed use	Residential (C3)
Existing parking spaces	20
Proposed parking spaces	6
Parking standard	Medium accessibility (2 spaces per dwelling).

5.0 Policy Context

5.1 Designation

Urban Area
Linkfield Street Conservation Area

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS4 (Valued townscapes and the historic environment)
CS5 (Valued People/Economic Development),
CS10 (Sustainable Development),
CS11 (Sustainable Construction)
CS13 (Housing Delivery)
CS15 (Affordable Housing)
CS17 (Travel Options and accessibility)

5.3 Reigate & Banstead Development Management Plan 2019

Design	DES1 DES2 DES5 DES8 DES9
Access and Parking	TAP1
Natural and Historic Environment	NHE1 NHE2 NHE3 NHE9
Community facilities	INF2

5.4 Other Material Considerations

National Planning Policy Framework
2023
National Planning Practice Guidance
Supplementary Planning Guidance Surrey Design

Local Distinctiveness Design Guide

Other

Human Rights Act 1998
Community Infrastructure Levy
Regulations 2010

6.0 Assessment

6.1 This application seeks planning permission for the change of use of the existing public house to a single dwelling and the erection of two semi-detached houses.

6.2 The main issues to consider are:

- Principle of the loss of the existing community Use
- Design and Heritage Assessment
- Impact on neighbour amenity
- Amenity for future occupiers
- Highway and parking matters
- Trees and landscaping
- Contamination
- Sustainability, Infrastructure and Climate Change
- CIL (Community Infrastructure Levy)
- Other issues

Principle of the loss of the existing community use

6.3 Policy INF2 of the Councils' Development Management Plan 2019 (DMP) seeks to control development that has the potential to result in the loss of existing community facilities. A pub is considered to be a community facility for the purposes of this policy, as confirmed within the NPPF 2023. Policy INF2 states:

1. Loss or change of use of existing community facilities will be resisted unless it can be demonstrated that the proposed use would not have an adverse impact on the vitality, viability, balance of services and/or evening economy of the surrounding community; and
 - a. Reasonable attempts have been made, without success, for at least six months to let or sell the premises for its existing community use or for another community facility that meets the needs of the community (see Annex 3 for details on what will be required to demonstrate this); or
 - b. The loss of the community facility would not result in a shortfall of local provision of this type, or equivalent or improved provision in terms of quantity and quality, or some wider community benefits, will be made in a suitable location.

- 6.4 The DMP in paragraph 3.4.14 defines community facilities as including public houses, which is also iterated within the NPPF 2023 (para. 84). The White Lion ceased trading in September 2018 and has been vacant since then. The closure of the pub use is not deemed to have a negative impact on the balance of similar services in the local area that would be detrimental to the wider community. There are two public houses less than 400m away from the site which include the Red Lion to the north and Garibaldi to the south.
- 6.5 The applicant has submitted marketing evidence in accordance with the requirements of the above policy and Annex 3 of the DMP. A marketing report has been prepared by Crow Watkin, which states that marketing of the site commenced from the 6th April 2021 for a period of 18 months, with a guide price of £575, 000, and £39,000 rental price. This marketing included website posting and sign board being posted at the front of the site. A total of 48 enquiries were received between 12th April 2021 and 11th September 2022. Of these 17 accompanied internal viewings were arranged and 3 enquirers viewed a second time. Of the enquires 19 were for residential conversion/ development of the car park and 18 were for public house uses with or without restaurant (with 11 internal viewings carried out). Two offers of £550,000, which was significantly below the guide price, one for a residential use and one for pub/ residential use. However these were not pursued due to the required expenditure needed due to the listed status of the building and the amount of work required. An offer of £26,000 per annum was offered to take on the pub use, however the applicant had no experience of running a pub and ultimately this was not pursued.
- 6.6 Considering the lack of substantial interest in taking on the building as a pub, the duration it has lain vacant, and the well-publicised difficulties associated with pub running costs and viability, it is considered that the likelihood of a new pub use for this building is low. The loss of the existing pub would not result in a shortfall in the balance similar such uses in the locality. The proposed development is therefore considered to comply with Policy INF2 of the DMP 2019.

Design and Heritage Assessment

- 6.7 As stated earlier in this report The White Lion Public House is a Grade II listed building, having a 16th Century core and being one of the oldest public houses in the Borough. In determining applications, the NPPFv2023 advises that local planning authorities should take account of:
- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
 - b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
 - c) the desirability of new development making a positive contribution to local character and distinctiveness (para. 197).

- 6.8 Paragraph 199 of the NPPF requires local planning authorities to consider the impact of a proposed development on the significance of a designated heritage asset, and great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance. Paragraph 200 follows by stating that:

Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

- a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;
- b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II* listed buildings, grade I and II* registered parks gardens, and World Heritage Sites, should be wholly exceptional.

- 6.9 Policy NHE9 of the Councils Development Management Plan 2019 (DMP) requires development which has the potential to impact on a designated heritage asset to preserve its character and setting. The policy states with regard to Grade II listed buildings that, in considering planning applications that directly or indirectly affect designated heritage assets, the Council will give great weight to the conservation of the asset, irrespective of the level of harm. Any proposal which would result in harm to or total loss of a designated heritage asset or its setting will not be supported unless a clear and convincing justification is provided. In this regard: Substantial harm to, or loss of, Grade II assets will be treated as exceptional and substantial harm to, or loss of, Grade I and II* assets and scheduled monuments will be treated as wholly exceptional.

- 6.10 With regard to the historic communal value of the pub, the special architectural and historic interest of the listed building, as well as its significance, is important in assessing the proposals. "Conservation Principles, Policy and Guidance" (2008) is Historic England's current advice and guidance.

- 6.11 The guidance defines conservation as the process of managing change to a significant place in its setting in ways that will best sustain its heritage values, while recognising opportunities to reveal or reinforce those values for present and future generations. There are 4 key values; Evidential value, Historical value, Aesthetic value and Communal value.

- 6.12 Previous applications 19/00172/F and 19/00173/LBC were refused partly on the grounds that the scheme would have resulted in the loss of the historic use of the pub. It was considered that the change of use would have been detrimental to the Communal value (the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or

memory) and Historical value (the ways in which past people, events and aspects of life can be connected through a place to the present, illustrative or associative) of the building. The communal use of this building is over 400 years, and the historical associations with the use and name would have been diminished by the change of use. As one of the oldest public houses in the Borough the loss of its use as public house was considered to be detrimental to its communal and historical significance. Both previous applications failed to provide adequate marketing information to demonstrate that the pub use was no longer viable, therefore considerable weight was given to the loss of the historic use of the pub.

- 6.13 Since the refusal of the previous applications the building has continued to remain vacant and is further falling into a state of disrepair. The applicant has carried out marketing of the building for a substantial period of time which, for the reasons outlined in the previous section of the report, has demonstrated that the likelihood of the building coming forward as a pub is low. Therefore to resist the principle of converting the building on the grounds of loss of the existing/ historic use would be unreasonable and continuingly difficult to justify.
- 6.14 With regards to the physical alterations to the existing building, the plans submitted show that the oldest parts of the building are to be retained, along with their internal features such as inglenook fireplaces. The elements of the building to be removed are 20th and 21st Century that contribute quite poorly to the building overall. These would be replaced by extensions that are in keeping with the building in terms of roof form and scale and are deemed to be acceptable and would positively enhance the building. The conversion to a single dwelling would be the most appropriate form of development as it would allow for the retention of the original building without the requirement to carry out substantial works to the interior, an approach which is supported. The retention of the name of the pub to the exterior along with any signage would be also seen as a positive, as this would help to embed the historic use of the building as a pub within the community, which would be important given the connection of the building and its use to the immediate locality.
- 6.15 Turning to the proposed dwellings, these would be fairly modest cottage style dwellings that would be in keeping in terms of design, scale form and materials as many of the other residential properties in the vicinity of the site, particularly those opposite on Linkfield Street. The surrounding area, particularly Grovehill Road, Linkfield Street, and Fengates Road are typified by Victorian/ Edwardian properties, which establishes the character of the Conservation Area, and the proposed dwellings would be acceptable within that context. The height of the dwellings would be suitably low, and the separation with the pub (5m) as well as the design would be such that they would not harm the setting of the listed building.
- 6.16 The proposed parking area in between the pub and new dwellings would provide an appropriate balance between hard and soft landscaping. During the course of the application amendments have been received to move the

parking away from the pub and incorporate more soft landscaping to the southern side, which would improve the setting of the building and giving a more open appearance.

- 6.17 In view of the above the proposed conversion of the Grade II listed pub and two proposed semi-detached dwellings would be acceptable in terms of their design and would be in keeping with the character of the area and would not result in detrimental harm to the character of the Linkfield Lane Conservation Area. The development is therefore deemed to comply with Policies DES1 and DES9 of the DMP 2019.

Impact on neighbouring amenity

- 6.18 The relationship between the existing pub building and neighbouring dwellings on Grovehill Road and Linkfield Street would be largely unchanged. Whilst noting that the proposed parking for the dwellings would be located in close proximity to the side boundary of 56 Grovehill Road, this would not be dissimilar to the previous use of the pub which historically would have accommodated a greater number of carparking, which would have generated a greater degree of disturbance. The proposed extensions to the eastern side of the building would be suitably low in height and the distance from the shared boundary with 56 Grovehill Road (11.2m) would be more than sufficient to avoid any overbearing impact.
- 6.19 With regard to the proposed semi-detached dwellings these would be sited in excess of 15m from the side boundary with 56 Grovehill Road and 19.5m from the dwelling itself. Whilst first floor windows would feature to the rear of both properties that would face towards this dwelling there would be an acceptable separation distance that would not give rise to harmful levels of overlooking and would be less harmful in this regard than that already afforded from 54 Grovehill Road. Therefore there is no objection with regards to impact on neighbouring properties to the east.
- 6.20 The proposed semi-detached properties would face towards 55-63 Linkfield Street, however only 61-63 would have a direct relationship. The proposed dormer windows would face towards these properties. They would be separated by a distance of approx. 14.7m at the closest point, accounting for the angle at which the properties address the road. Whilst there would be some overlooking between properties, this would not be an untypical relationship on a quiet residential street such as this, and similar such relationships can be found on Grovehill Road and Fengates Road to the north.
- 6.21 In view of the above it is considered that, whilst giving rise to a degree change in the relationship between properties, the proposed development would not result in harm to the amenity of neighbouring properties and would comply with Policy DES1 of the DMP with regard to impact on neighbouring amenity.

Amenity of future occupiers

- 6.22 It is a fundamental objective of planning policy and stated within the National Planning Policy Framework 2023 that we provide high quality housing that is well designed and built to a high standard. The advice is amplified further by policies DES2 and DES5 of the Development Management Plan, which requires developments to demonstrate that dwellings have been designed to ensure a good standard of amenity for all existing and future occupants and meet the minimum relevant nationally described space standards and be arranged to ensure that habitable rooms are arranged to have an acceptable outlook and where possible receive direct sunlight. Policy DES2 requires developments to be designed to ensure a good standard of amenity for all existing and future occupants.
- 6.23 A two storey 5 bed dwelling would be required to provide a minimum of 110sqm, whilst a 3 bed dwelling should provide a minimum of 84sqm. The proposed dwellings would exceed their respective requirements of the National Space Standards. The rooms of the proposed semi-detached dwellings would be laid out in such a way as to ensure that each would be well served by windows providing sufficient light and acceptable outlook to habitable rooms. Rooms would be of a large size and the overall layout would allow for ease of movement throughout the dwellings. Despite the age of the existing pub, the internal layout would be quite spacious and the addition of new extension to the east side of the building would open up the living/garden room to the front and the addition of large windows to the extension would provide substantial light to the ground floor of the property.
- 6.24 Each property would have access to a private garden area that would be proportionate to the size of the dwelling and the semi-detached dwellings would have gardens that of dwellings on Grovehill Road and Linkfield Street.
- 6.25 In view of the above the dwellings would be acceptable and would meet the required standards and the requirements of Policy DES5 of the DMP 2019.

Highway Matters

- 6.26 The site is located within an area of medium accessibility as defined within the Annex 4 of the DMP. On this basis each of the dwellings would require two parking spaces. It is proposed to provide a total of 6 parking spaces (2 per dwelling), which would be located centrally between the pub and the proposed new dwellings, reached via a gated access off of Linkfield Street. The proposed parking provision would meet the required standard.
- 6.27 The proposal has been reviewed by the County Highway Authority (CHA) who is satisfied with the proposed parking provision, and that the access would not give rise to harm to the safe operation of the highway. Each of the dwellings would also provide dedicated space for the safe storage of bicycles.

- 6.28 A refuse collection point would be located to the west of the pub adjacent to the access. Details of this have not been provided and will therefore be secured via condition.
- 6.29 Conditions have also been recommended requiring the construction of the access, provision of parking in accordance with the approved plans, provision of inter-visibility spays on each side of the access on to Linkfield Street, and provision of electric vehicle charging points for each dwelling.
- 6.30 Subject to compliance with these conditions, the scheme would be acceptable with regards to highway matters and would comply with the requirements of Policy TAP1 of the DMP 2019.

Trees and landscaping

- 6.31 There are no protected trees within the site however the site is located within the Linkfield Street Conservation Area, therefore all trees would be afforded protection by virtue of this. An arboricultural report has been submitted which identifies 8 trees to be removed from across the site. The trees are identified as being category C and U specimens and therefore individually are of low quality, however collectively these trees do contribute to the arboreal character of the area. This is acknowledged by the Councils' Tree Officer, who has reviewed the application. The report includes a planting plan, in which reference is made to the planting of a hedgerow, however substantial detail is yet to be provided. In order to ensure that the loss of existing trees is suitably mitigated a condition requiring the submission of a landscaping plan and native hedge specification prior to commencement of development would be included in the event of planning permission being granted.
- 6.32 Subject to compliance with these conditions and a suitable detailed landscaping scheme, the development would be acceptable with regard to tree impacts and landscaping and would comply with Policy NHE3 of the Development Management Plan 2019.

Contamination

- 6.33 The application has been reviewed by the Councils' Contaminated Land Officer, who has identified the potential for there to be ground contamination on and/ or in close proximity to the site. Where a site is known to be contaminated, or where there is a reasonable possibility of contamination, Policy DES9 of the DMP requires appropriate investigation, and where necessary mitigation and/or remediation to take place. As such conditions requiring the carrying out of site assessments and surveys would be required for submission prior to the commencement of development. Subject to compliance with these conditions the scheme would be acceptable with regards to contamination issues.

Sustainability, Infrastructure and Climate

- 6.34 DMP Policy CCF1 relates to climate change mitigation and requires new development to meet the national water efficiency standard of 110litres/person/day and to achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations.
- 6.35 Following the recent changes to building regulations energy efficiency measures are now in excess of the 19% requirement. Therefore it is not considered reasonable or necessary to include a condition requiring the 19% improvement. The water efficiency measures are still however required. In the event that planning permission is to be granted, a condition would be imposed to secure further details of the water efficiency measures in order to comply with this element of DMP Policy CCF1.
- 6.36 A condition is also recommended to ensure that each dwelling is fitted with access to fast broadband services in accordance with policy INF3 of the DMP. As above a condition is also recommended to secure the implementation of electric car charging points throughout the site.

Community Infrastructure Levy (CIL)

- 6.37 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. This development would be CIL liable, although the exact amount would be determined and collected after the grant of planning permission and relief can be sought from CIL in cases where affordable housing is being provided.

Other matter

- 6.38 Objection has been raised with regards to inconvenience during the construction process and increased noise and disturbance.. Whilst it is acknowledged that this can be inconvenience, it is a temporary process, and is not a reason to withhold planning permission. An informative advises the applicant of permissible working hours, controlling deliveries and reducing noise and disturbance.

CONDITIONS Application A

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

Plan Type	Reference	Version	Date
Elevation Plan	20777/121		24.08.2023
Elevation Plan	20777/120		24.08.2023
Floor Plan	20777/111		22.02.2023
Floor Plan	20777/112		24.08.2023
Roof Plan	20777/113		24.08.2023
Section Plan	22819/321	H	24.08.2023
Location Plan	20777/200	D	24.08.2023
Location Plan	20777/100		24.08.2023
Floor Plan	22819/211		24.08.2023
Floor Plan	22819/211	B	24.08.2023
Elevation Plan	22819/221	A	24.08.2023
Elevation Plan	22819/220	A	24.08.2023
Floor Plan	20777/110		24.08.2023
Floor Plan	22819/210	F	24.08.2023
Block Plan	22819/300	P	24.08.2023
Elevation Plan	22819/320	H	24.08.2023
Floor Plan	22819/310	G	24.08.2023
Location Plan	20777/100	A	16.11.2022

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. Before any works above slab level, detailed drawings of the construction of the dormers to the new houses shall be submitted to and approved in writing by the LPA.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

4. All external joinery shall be of painted timber.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

5. This permission does not purport to grant consent for any means of enclosure including railings, fences, walls, retaining walls or steps. A scheme shall be submitted to and approved in writing LPA before any works above slab level and the emphasis shall be on provision of hedges or hedges in front of any means of enclosure in the first instance and minimisation of any retaining walls by chamfering or tapering of ground levels. All new retaining walls will be expected to match the local greensand rubble stone and all fences shall be of palisade or featheredge timber with timber posts.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

6. Before any works above slab level a detailed scheme shall be submitted showing in colour coded areas the changes in levels and any associated retaining walls for submission to and approval in writing by the LPA to ensure that the level changes are in keeping with the listed building and conservation area.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

7. All tiles shall be double cambered handmade sandfaced plain clay tiles, with the tile hanging of lighter colour than the roof tiles, details of which shall be submitted to and approved in writing by the LPA before any works above slab level. All existing tile hanging shall be retained and repaired and the older roof tiles to the rear roof planes of the listed salvaged and reused in this location. Winchester cuts on the tile hanging are not permitted and all tiles hanging shall be in straight runs. The tile hanging shall have a tilting fillet to ensure an outward kick to the base.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

8. There shall be no abrasive cleaning of timber, stone or other features in the Listed Building. Any removal of paintwork shall be by chemical poultice.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed

building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

9. Before works commence a survey and proposals for the Listed building's internal door and fireplaces shall be provide. Generally wood burning stoves will be unacceptable in the historic fireplaces, particularly those of a smaller size or with historic hob features.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

10. The White Lion lettering shall be restored on the historic west fascia sign of the listed building and by painted by hand by a professional signwriter with serifed letter details of font to be agreed in writing with drawings to show proportions and font within sign and carried out before occupation of any the buildings.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

11. Any rooflights shall be black painted metal conservation rooflights with at least one glazing bar of traditional profile.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

12. All rainwater goods including gutters and downpipes shall be of black painted cast metal.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

13. All brickwork shall be of handmade sandfaced brick in Flemish bond in either traditional red brick of varied shades or multistock, details of which shall be submitted to and approved in writing before any works above slab level.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

14. Details of all external doors and windows for the new houses shall be submitted to and approved in writing by the LPA before any works above slab level. All external doors shall be of painted vertically boarded timber. All new windows shall be of white painted timber with casements in each opening to ensure equal sightlines and all glazing bars shall be external and of traditional profile. The listed building windows shall have projecting mullions, transoms and outer frames to match existing and painted timber cills.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

15. The post sign shall be repaired to a fit structural state before occupation of the listed building and the hanging sign reinstated with heraldic white lion rampant, details of which shall be submitted to and approved in writing by the LPA before any works above slab level. Details of the proposed historic plaque will also be submitted to for consideration and approved in writing by the LPA before any works above slab level.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

16. Notwithstanding the GPDO no renewables or photovoltaics shall be installed on the new houses or listed building without submitting the detail to and consent in writing of the LPA to ensure any panels are sited to avoid harming the appearance of the buildings. No panels should be sited on the front elevation. Siting panels within the rear gardens is a potential location.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

17. All hardstanding shall be removed around the listed building including front north and west yards or garden, and the natural lawn reinstated with any ironstone, cobbles or setts cobbles salvaged for re-use on site as paving within the access drive, details of which are to be agreed in writing before

occupation of the buildings and carried out in accordance with those details before occupation. The grass and lawns shall be maintained as natural grass on an ongoing basis unless otherwise agreed in writing by the LPA.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

18. This permission does not purport consent for the entrance gate due to the slope of the site. Details of the proposed gate and its design shall be submitted to and approved in writing by the LPA before its installation if a design in this location is considered suitable as it may not be practical due to the slope. Any gate is likely to need to be outward opening due to the slope and should be of timber post piers and five bar gate design.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

19. Before any works above slab level a detailed specification for the repair of the listed building shall be submitted to and approved in writing by the LPA and the repairs shall be completed on the listed building before either the listed building or the new houses are occupied.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

20. The southern boundary local greensand stone rubble wall to be retained and fully repaired before occupation of the buildings.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

21. The access drive and parking shall be of fixed gravel or ironstone or setts, including any salvaged setts.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed

building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

22. The existing windows and doors to the listed building, including the stained glass, shall be retained and repaired (or any part replaced like for like where decayed beyond redemption) as single glazed windows any thermal efficiency provide by internal secondary glazing (which may be double glazed). Details of the repair and any new windows shall be submitted to and approved in writing by the LPA before any works above slab level. All stained glass to shall be repaired by an accredited conservator. The submission shall include a photographic survey of both sides of the existing doors and windows and details of any repair work and detailed drawings of any new doors and windows.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

23. This does not purport to grant consent for the details or locations of any refuse collection point, bin store or cycle store, details of which shall be submitted and approved in writing by the LPA before any works above slab level. The stores shall have black featheredge weatherboard (not grey) and have had evergreen hedges of matching height to the bins, bin store or cycle store except for door openings or adjacent to existing building. The hedges shall be maintained on an ongoing basis to this height, and any loses replaced to match existing within three months. The ground for the hedge planting shall be prepared at a depth of at least 40 cm with top soil to the British Standard and any substandard soil or rubble removed.
24. No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a Written Scheme of Investigation which has been submitted to and approved by the Local Planning Authority.

Reason: The site covers an area in which it is considered necessary to preserve for future reference any archaeological information before it is destroyed by the development with regard to Reigate and Banstead Borough Development Management Plan 2019 policy NHE9. This is necessary to be a pre-commencement condition because the suitable recording of archaeology goes to the heart of the planning permission.

25. The development hereby approved shall not be first occupied unless and until the proposed vehicular access to Linkfield Street has been constructed and provided with visibility zones in in accordance with the approved plans and thereafter the access shall be kept permanently clear of any construction.

Reason: The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users, and to accord with the NPPF and Reigate and Banstead Development Management Plan policy TAP1.

26. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking /turning areas shall be retained and maintained for their designated purposes.

Reason: The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to accord with the NPPF and Reigate and Banstead Development Management Plan policy TAP1.

27. The development hereby approved shall not be first occupied unless and until a pedestrian intervisibility splay measuring 2m by 2m has been provided on each side of the access to Linkfield Street, the depth measured from the back of the footway and the widths outwards from the edges of the access. No obstruction to the visibility between 0.6m and 2m in height above ground level shall be erected within the area of such splays.
28. The development hereby approved shall not be occupied unless and until each of the proposed houses are provided with a fast charge socket (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase dedicated supply) in accordance with a scheme to be submitted and approved in writing by the Local Planning Authority and thereafter retained and maintained to the satisfaction of the Local Planning Authority before installation of the charger and associated works. These shall be designed to have minimal visual impact on the setting of the building including location, socket or post size, colour and minimal display illumination and design and details of any associated feeder box, conduit (below ground would be required), guarding and shall include provision of shrubbery screening of these features.

Reason: In order that the development promotes more sustainable forms of transport, and to preserve the character of the Conservation Area, and to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17 and policy TAP1 and NHE9 of the Development Management Plan.

29. Prior to commencement of development a written comprehensive environmental desktop study report is required to identify and evaluate possible on and off site sources, pathways and receptors of contamination and enable the presentation of all plausible pollutant linkages in a preliminary conceptual site model. The study shall include relevant regulatory consultations such as with the Contaminated Land Officer and be submitted to the Local Planning Authority and is subject to the approval in writing of the

Local Planning Authority and any additional requirements that it may specify. The report shall be prepared in accordance with the Environment Agency's Land Contamination: Risk Management Guidance (2020) and British Standard BS 10175.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to the Reigate and Banstead Local Plan Development Management Plan 2019 (Policy DES9 Pollution and contaminated Land) and the NPPF.

30. Prior to commencement of development, in follow-up to the environmental desktop study, a contaminated land site investigation proposal, detailing the extent and methodologies of sampling, analyses and proposed assessment criteria required to enable the characterisation of the plausible pollutant linkages identified in the preliminary conceptual model, shall be submitted to the Local Planning Authority. This is subject to the written approval in writing of the Local Planning Authority, and any additional requirements that it may specify, prior to any site investigation being commenced on site. Following approval, the Local Planning Authority shall be given a minimum of two weeks written notice of the commencement of site investigation works. Please note this means a proposal is required to be submitted and approved prior to actually undertaking a Site Investigation.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard the Reigate and Banstead Local Plan Development Management Plan 2019 (Policy DES9 Pollution and contaminated Land) and the NPPF.

31. Prior to commencement of the development, a contaminated land site investigation and risk assessment, undertaken in accordance with the site investigation proposal as approved that determines the extent and nature of contamination on site and is reported in accordance with the standards of DEFRA's and the Environment Agency's Land Contamination: Risk Management Guidance (2020) and British Standard BS 10175, shall be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. If applicable, ground gas risk assessments should be completed in line with CIRIA C665 guidance.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard the Reigate and Banstead Local Plan Development Management Plan 2019 (Policy DES9 Pollution and contaminated Land) and the NPPF.

32. a. Prior to commencement of the development a detailed remediation method statement should be produced that details the extent and

method(s) by which the site is to be remediated, to ensure that unacceptable risks are not posed to identified receptors at the site and details of the information to be included in a validation report, has been submitted to and approved in writing by the Local Planning Authority, and any additional requirements that it may specify, prior to the remediation being commenced on site. The Local Planning Authority shall then be given a minimum of two weeks written notice of the commencement of remediation works.

- b. Prior to occupation, a remediation validation report for the site shall be submitted to the Local Planning Authority in writing. The report shall detail evidence of the remediation, the effectiveness of the remediation carried out and the results of post remediation works, in accordance with the approved remediation method statement and any addenda thereto, so as to enable future interested parties, including regulators, to have a single record of the remediation undertaken at the site. Should specific ground gas mitigation measures be required to be incorporated into a development the testing and verification of such systems should have regard to CIRIA C735 guidance document entitled 'Good practice on the testing and verification of protection systems for buildings against hazardous ground gases' and British Standard BS 8285 Code of practice for the design of protective measures for methane and carbon dioxide ground gases for new buildings.

Reason: To demonstrate remedial works are appropriate and demonstrate the effectiveness of remediation works so that the proposed development will not cause harm to human health or pollution of controlled waters with regard to the Reigate and Banstead Local Plan Development Management Plan 2019 (Policy DES9 Pollution and contaminated Land) and the NPPF.

33. Unexpected ground contamination: Contamination not previously identified by the site investigation, but subsequently found to be present at the site shall be reported to the Local Planning Authority as soon as is practicable. If deemed necessary development shall cease on site until an addendum to the remediation method statement, detailing how the unsuspected contamination is to be dealt with, has been submitted in writing to the Local Planning Authority. The remediation method statement is subject to the written approval of the Local Planning Authority and any additional requirements that it may specify.

Note: Should no further contamination be identified then a brief comment to this effect shall be required to discharge this condition.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to the Reigate and Banstead Local Plan Development Management Plan 2019 (Policy DES9 Pollution and contaminated Land) and the NPPF.

34. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions, means of enclosure, outbuildings or hardstandings permitted by the 2015 Order or its successors, shall be constructed (other than those expressly authorised by this permission) without an application and approval by the local planning authority.

Reason: To control any subsequent enlargements in the interests of the visual and residential amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1 (add NHE9 as appropriate).

35. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions or roof enlargements permitted by Classes A, B or C of Part 1 of the Second Schedule of the 2015 Order (as amended) shall be constructed without the prior approval of the Local Planning Authority.

Reason: To control any subsequent enlargements in the interests of the visual and residential amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1 (add NHE9 as appropriate).

36. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, (or any Order revoking and re-enacting that Order with or without modification), no first floor windows, dormer windows or rooflights other than those expressly authorised by this permission shall be constructed.

Reason: To ensure that the development does not affect the amenity of the neighbouring property by overlooking and to protect the visual amenities of the area in accordance with Reigate and Banstead Development Management Plan policy DES1.

37. The first floor windows in the north and south side elevations of the proposed semi-detached dwellings hereby permitted shall be glazed with obscured glass and shall be non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed and shall be maintained as such at all times.

Reason: To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

38. No development shall commence including groundworks preparation and demolition until all related arboricultural matters, including arboricultural

supervision, monitoring and tree protection measures are implemented in strict accordance with the approved details contained in the Tree Protection Plan compiled by Usherwood Consultancy, dated 29th October 2022

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction - Recommendations' and policies NHE3 and DES1 of the Reigate and Banstead Development Management Plan 2019.

39. No development shall commence until details of hard and soft landscaping is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include frontage tree and hedge planting and any other existing or proposed, soft or hard, landscaping in the front garden area, or adjacent to boundaries where appropriate. The soft landscape details shall include an establishment maintenance schedule for a minimum of 2 years, full planting specifications, planting sizes & densities. Upon implementation of the approved development all the landscaping works shall be carried out in strict accordance with the landscape details as approved, and these shall be completed, before building completion, occupation or use of the approved development whichever is the earliest.

If any of the new or existing tree/s or hedge/s, detailed and approved under this condition, are removed, die, or become significantly damaged or diseased within 5 years of completion, it/they shall be replaced before the expiry of one calendar year, to a planting specification agreed in writing by the Local Planning Authority. The hedges detailed shall be retained at a minimum height of 1 metre, or if new, once grown to this height thereafter.

Reason: To ensure good landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies NHE3 and DES1 of the Reigate and Banstead Development Management Plan 2019.

40. No development above ground level shall commence until a scheme to provide positive biodiversity benefits, has been submitted to and approved in writing by the local planning authority (LPA). This should be designed alongside the soft landscaping proposals for the site. The biodiversity enhancement measures approved shall be carried out and maintained in strict accordance with these details or as otherwise agreed in writing by the LPA, and before occupation of this development.

Reason: To provide enhancements to the biodiversity of the site in accordance with the provisions of the National Planning Policy Framework and Reigate and Banstead Development Management Plan 2019 policy NHE2.

41. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed

broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:

- a) A broadband connection accessed directly from the nearest exchange or cabinet,
- b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

42. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:
- a) Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day,

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

Conditions Application B

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

Plan Type	Reference	Version	Date
Elevation Plan	20777/121		24.08.2023
Elevation Plan	20777/120		24.08.2023
Floor Plan	20777/111		22.02.2023
Floor Plan	20777/112		24.08.2023
Roof Plan	20777/113		24.08.2023
Section Plan	22819/321	H	24.08.2023
Location Plan	20777/200	D	24.08.2023
Location Plan	20777/100		24.08.2023
Floor Plan	22819/211		24.08.2023

Floor Plan	22819/211	B	24.08.2023
Elevation Plan	22819/221	A	24.08.2023
Elevation Plan	22819/220	A	24.08.2023
Floor Plan	20777/110		24.08.2023
Floor Plan	22819/210	F	24.08.2023
Block Plan	22819/300	P	24.08.2023
Elevation Plan	22819/320	H	24.08.2023
Floor Plan	22819/310	G	24.08.2023
Location Plan	20777/100	A	16.11.2022

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. Before any works above slab level, detailed drawings of the construction of the dormers to the new houses shall be submitted to and approved in writing by the LPA.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

4. All external joinery shall be of painted timber.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

5. This permission does not purport to grant consent for any means of enclosure including railings, fences, walls, retaining walls or steps. A scheme shall be submitted to and approved in writing LPA before any works above slab level and the emphasis shall be on provision of hedges or hedges in front of any means of enclosure in the first instance and minimisation of any retaining walls by chamfering or tapering of ground levels. All new retaining walls will be expected to match the local greensand rubble stone and all fences shall be of palisade or featheredge timber with timber posts.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed

building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

6. Before any works above slab level a detailed scheme shall be submitted showing in colour coded areas the changes in levels and any associated retaining walls for submission to and approval in writing by the LPA to ensure that the level changes are in keeping with the listed building and conservation area.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

7. All tiles shall be double cambered handmade sandfaced plain clay tiles, with the tile hanging of lighter colour than the roof tiles, details of which shall be submitted to and approved in writing by the LPA before any works above slab level. All existing tile hanging shall be retained and repaired and the older roof tiles to the rear roof planes of the listed salvaged and reused in this location. Winchester cuts on the tile hanging are not permitted and all tiles hanging shall be in straight runs. The tile hanging shall have a tilting fillet to ensure a outward kick to the base.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

8. There shall be no abrasive cleaning of timber, stone or other features in the Listed Building. Any removal of paintwork shall be by chemical poultice.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

9. Before works commence a survey and proposals for the Listed building's internal door and fireplaces shall be provide. Generally wood burning stoves will be unacceptable in the historic fireplaces, particularly those of a smaller size or with historic hob features.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

10. The White Lion lettering shall be restored on the historic west fascia sign of the listed building and by painted by hand by a professional signwriter with serified letter details of font to be agreed in writing with drawings to show proportions and font within sign and carried out before occupation of any the buildings.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

11. Any rooflights shall be black painted metal conservation rooflights with at least one glazing bar of traditional profile.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

12. All rainwater goods including gutters and downpipes shall be of black painted cast metal.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

13. All brickwork shall be of handmade sandfaced brick in Flemish bond in either traditional red brick of varied shades or multistock, details of which shall be submitted to and approved in writing before any works above slab level.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

14. Details of all external doors and windows for the new houses shall be submitted to and approved in writing by the LPA before any works above slab level. All external doors shall be of painted vertically boarded timber. All new windows shall be of white painted timber with casements in each opening to ensure equal sightlines and all glazing bars shall be external and of traditional profile. The listed building windows shall have projecting mullions, transoms and outer frames to match existing and painted timber cills.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

15. The post sign shall be repaired to a fit structural state before occupation of the listed building and the hanging sign reinstated with heraldic white lion rampant, details of which shall be submitted to and approved in writing by the LPA before any works above slab level. Details of the proposed historic plaque will also be submitted to for consideration and approved in writing by the LPA before any works above slab level.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

16. Notwithstanding the GPDO no renewables or photovoltaics shall be installed on the new houses or listed building without submitting the detail to and consent in writing of the LPA to ensure any panels are sited to avoid harming the appearance of the buildings. No panels should be sited on the front elevation. Siting panels within the rear gardens is a potential location.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

17. All hardstanding shall be removed around the listed building including front north and west yards or garden, and the natural lawn reinstated with any ironstone, cobbles or setts cobbles salvaged for re-use on site as paving within the access drive, details of which are to be agreed in writing before occupation of the buildings and carried out in accordance with those details before occupation. The grass and lawns shall be maintained as natural grass on an ongoing basis unless otherwise agreed in writing by the LPA.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

18. This permission does not purport consent for the entrance gate due to the slope of the site. Details of the proposed gate and its design shall be submitted to and approved in writing by the LPA before its installation if a design in this location is considered suitable as it may not be practical due to

the slope. Any gate is likely to need to be outward opening due to the slope and should be of timber post piers and five bar gate design.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

19. Before any works above slab level a detailed specification for the repair of the listed building shall be submitted to and approved in writing by the LPA and the repairs shall be completed on the listed building before either the listed building or the new houses are occupied.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

20. The southern boundary local greensand stone rubble wall to be retained and fully repaired before occupation of the buildings.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

21. The access drive and parking shall be of fixed gravel or ironstone or setts, including any salvaged setts.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

22. The existing windows and doors to the listed building, including the stained glass, shall be retained and repaired (or any part replaced like for like where decayed beyond redemption) as single glazed windows any thermal efficiency provide by internal secondary glazing (which may be double glazed). Details of the repair and any new windows shall be submitted to and approved in writing by the LPA before any works above slab level. All stained glass to shall be repaired by an accredited conservator. The submission shall include a photographic survey of both sides of the existing doors and windows and details of any repair work and detailed drawings of any new doors and windows.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials and detailing in the interest of maintaining the historic and architectural character of the listed building and the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

23. This does not purport to grant consent for the details or locations of any refuse collection point, bin store or cycle store, details of which shall be submitted and approved in writing by the LPA before any works above slab level. The stores shall have black featheredge weatherboard (not grey) and have had evergreen hedges of matching height to the bins, bin store or cycle store except for door openings or adjacent to existing building. The hedges shall be maintained on an ongoing basis to this height, and any losses replaced to match existing within three months. The ground for the hedge planting shall be prepared at a depth of at least 40 cm with top soil to the British Standard and any substandard soil or rubble removed.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

4. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate. If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings. If you are building a scheme of more than 5 units please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found http://www.reigate-banstead.gov.uk/info/20277/street_naming_and_numbering
5. The use of a suitably qualified arboricultural consultant is essential to provide acceptable submissions in respect of the arboricultural tree condition above. All works shall comply with the recommendations and guidelines contained within British Standard 5837.
6. The use of landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant conditions. Replacement planting of trees should reflect the species lost through development and shall be in keeping with the character and appearance of the locality. There is an opportunity to incorporate substantial sized trees into the scheme to provide for future amenity and long term continued structural tree cover in this area. It is expected that the replacement structural landscape trees will be of Extra Heavy Standard with initial planting heights of not less than 4m with girth measurements at 1m above ground level in excess 14/16cm.
7. Biodiversity enhancements – with regard to condition 40 the Council expects the applicant to provide an appropriately detailed document to demonstrate that a measurable net gain (not just compensation), secure for the lifetime of the development, is achievable. The applicant may wish to use an appropriate metric such as the DEFRA Biodiversity Metric 2.0 to demonstrate how the site will provide biodiversity net gain. If net gain cannot be met this must be fully justified.
8. The applicant site is situated on or in close proximity to land that could be potentially contaminated by virtue of previous historical uses of the land. As a result there is the potential of ground contamination to be present beneath part(s) of the site. Groundworkers should be made aware of this so suitable mitigation measures and personal protective equipment measures (if required) are put in place and used. Should significant ground contamination

be identified the Local Planning Authority should be contacted promptly for further guidance.

9. Environmental Health would like to draw the applicant attention to the specifics of the contaminated land conditional wording such as 'prior to commencement', 'prior to occupation' and 'provide a minimum of two weeks notice'.

The submission of information not in accordance with the specifics of the planning condition wording can lead to delays in discharging conditions, potentially result in conditions being unable to be discharged or even enforcement action should the required level of evidence/information be unable to be supplied. All relevant information should be formally submitted to the Local Planning Authority and not direct to Environmental Health.

10. The developer is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may require necessary accommodation works to streetlights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.

11. The permission hereby granted shall not be construed as authority to carry out any works (including Stats connections/diversions required by the development itself or the associated highway works) on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works (including Stats connections/diversions required by the development itself or the associated highway works) on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see: <https://www.surreycc.gov.uk/roads-and-transport/permits-and-licences/traffic-management-permit-scheme>. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991.

12. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.

13. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever

possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).

14. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.
15. The applicant is expected to ensure the safe operation of all construction traffic in order to prevent unnecessary disturbance obstruction and inconvenience to other highway users. Care should be taken to ensure that the waiting, parking, loading and unloading of construction vehicles does not hinder the free flow of any carriageway, footway, bridleway, footpath, cycle route, right of way or private driveway or entrance. Where repeated problems occur the Highway Authority may use available powers under the terms of the Highways Act 1980 to ensure the safe operation of the highway.

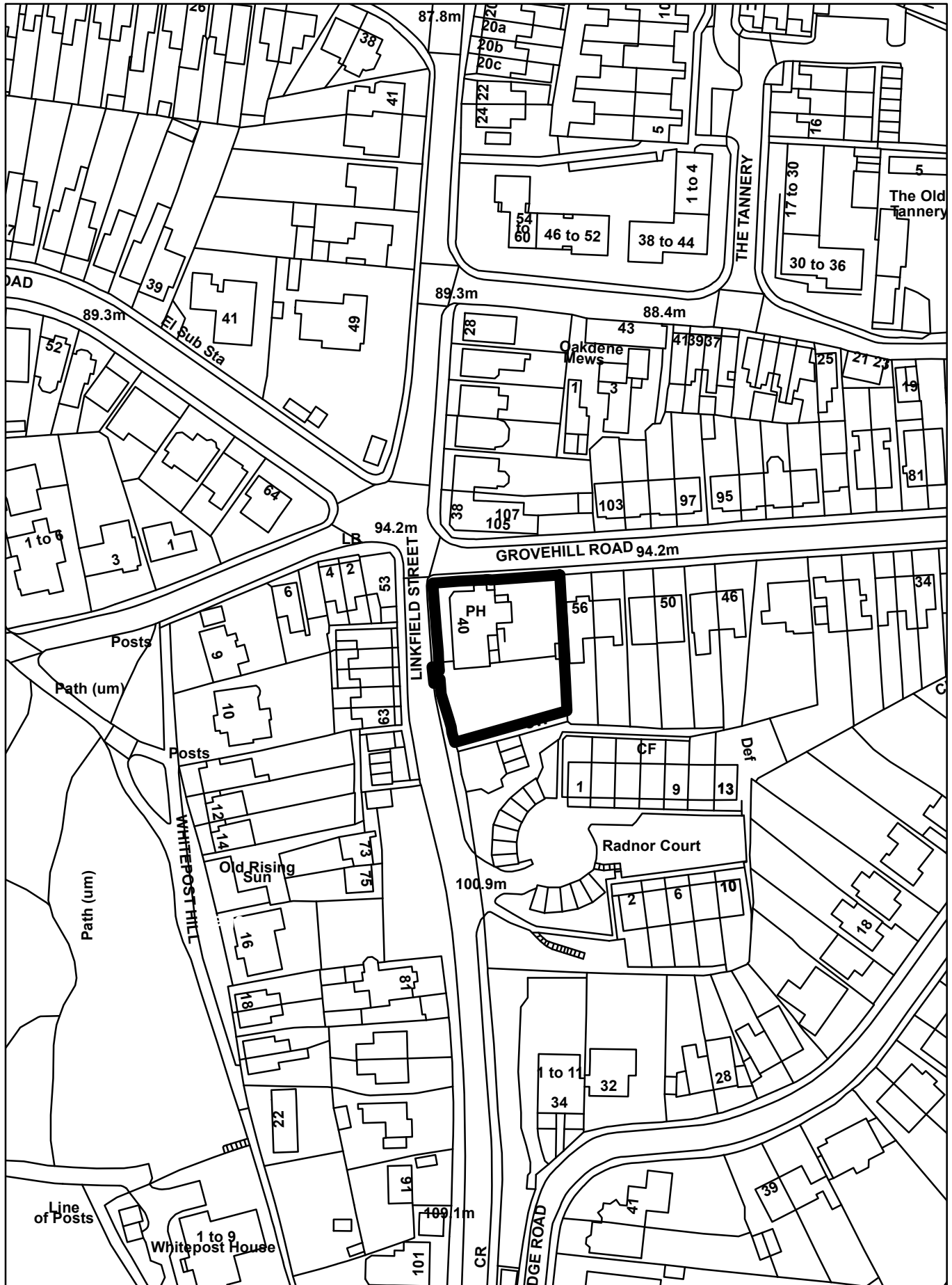
REASON FOR PERMISSION

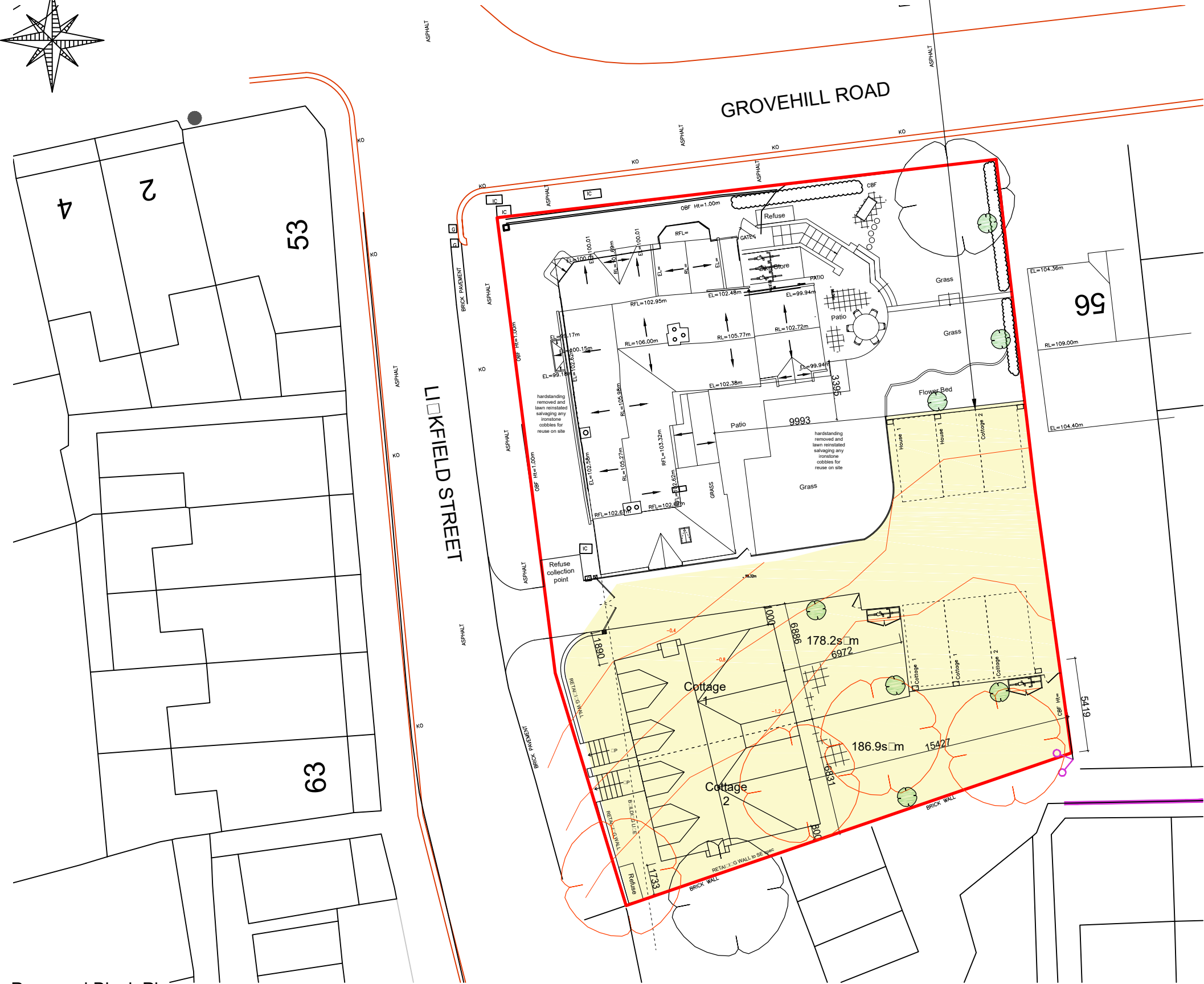
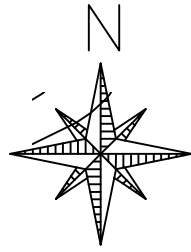
The development hereby permitted has been assessed against Development Management Plan policies DES1 DES2 DES5 DES8 DES9 TAP1 NHE2 NHE3 NHE9 INF2 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statement

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

22/02444/F & 22/02460/LBC White Lion Public House 40 Linkfield Street Redhill Surrey RH1 6BY





Proposed Block Plan
Scale 1:250

EV charging point to all parking bays

Do not scale from this drawing. Figured dimensions only to be taken. Check all dimensions prior to setting out. Report all discrepancies to the Architect.

Revisions

A	updated to clients comments	21.03.22	CC
B	updated to clients comments	24.03.22	CC
C	updated to clients comments	28.03.22	CC
D	updated to clients comments	29.03.22	CC
E	updated to clients comments	13.04.22	CC
F	updated to clients comments	25.04.22	CC
G	Roof plan updated	04.05.22	CC
H	Car layout updated and gate moved	10.05.22	CC
J	landscaping to pub conversion added	16.05.22	CC
K	Location of Cottage 1 and 2 updated following pre-app comments	31.08.22	CC
L	□ updated following pre-app advice	18.10.22	CC
M	□ updated to PO comments	28.03.23	CC
	□ updated to email 03.04.23	03.04.23	JD
O	updated to CO comments	27.06.23	JD
P	updated to CO comments	25.07.23	JD

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Client:
Aaliyah Developments

Project:
White Lion, 40 Linkfield Street
Redhill, RH1 6BY

Drawing Title:
Proposed Site Plan

Scale: 1:250 @ A3
Date: Mar 22
Drawn by: CC

Drawing No: 22819/300
Revision: P

< Original size 60mm - A3 at full size >



Proposed West Elevation
Scale 1:100



Proposed North Elevation
Scale 1:100

Do not scale from this drawing. Figured dimensions only to be taken. Check all dimensions prior to setting out. Report all discrepancies to the Architect.

Revisions

A updated to client comments 06.04.22

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Client:
Aaliyah Developments

Project:
White Lion, 40 Linkfield Street
Redhill, RH1 6BY

Drawing Title:
Proposed North and West Elevations

Scale: 1:100 @ A3 **Date:** Mar22 **Drawn by:** JD

Drawing No: 22819/220 **Revision:** A

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Proposed East Elevation
Scale 1:100



Proposed South Elevation
Scale 1:100

Do not scale from this drawing. Figured dimensions only to be taken. Check all dimensions prior to setting out. Report all discrepancies to the Architect.

Revisions

A updated to client comments 06.04.22

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Client:
Aaliyah Developments

Project:
White Lion, 40 Linkfield Street
Redhill, RH1 6BY

Drawing Title:
Proposed South and East Elevations

Scale: 1:100 @ A3 **Date:** Mar22 **Drawn by:** JD

Drawing No: 22819/221 **Revision:** A

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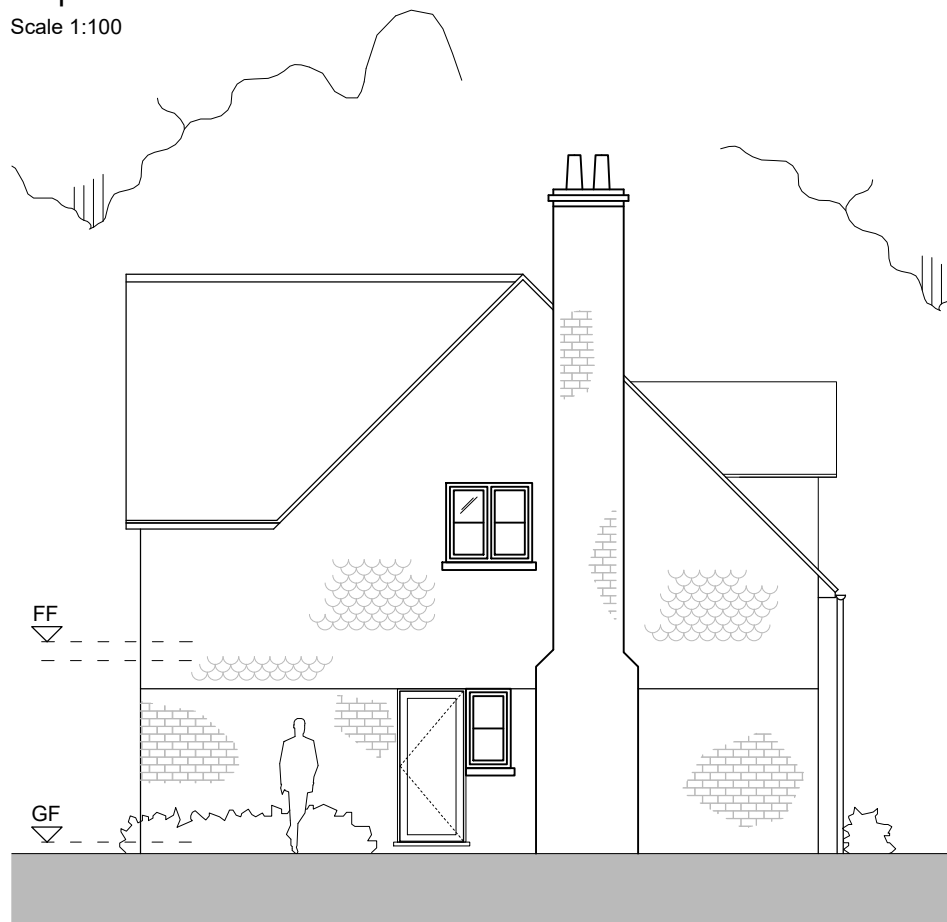
Proposed West Elevation

Scale 1:100



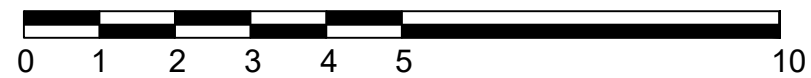
Proposed East Elevation

Scale 1:100



Proposed North Elevation

Scale 1:100



SCALE BAR 1:100

Do not scale from this drawing. Figured dimensions only to be taken. Check all dimensions prior to setting out. Report all discrepancies to the Architect.

Revisions

A	updated to clients comments	21.03.22	CC
B	updated to clients comments	24.03.22	CC
C	Location and width of Cottages 1 and 2 updated following pre-app comments	31.08.22	CC
D	updated following pre-app advice	18.10.22	CC
E	updated to PO comments	28.03.23	CC
F	updated to CO comments	27.06.23	JD
G	updated to CO comments	25.07.23	JD
H	updated to CO comments	14.08.23	JD

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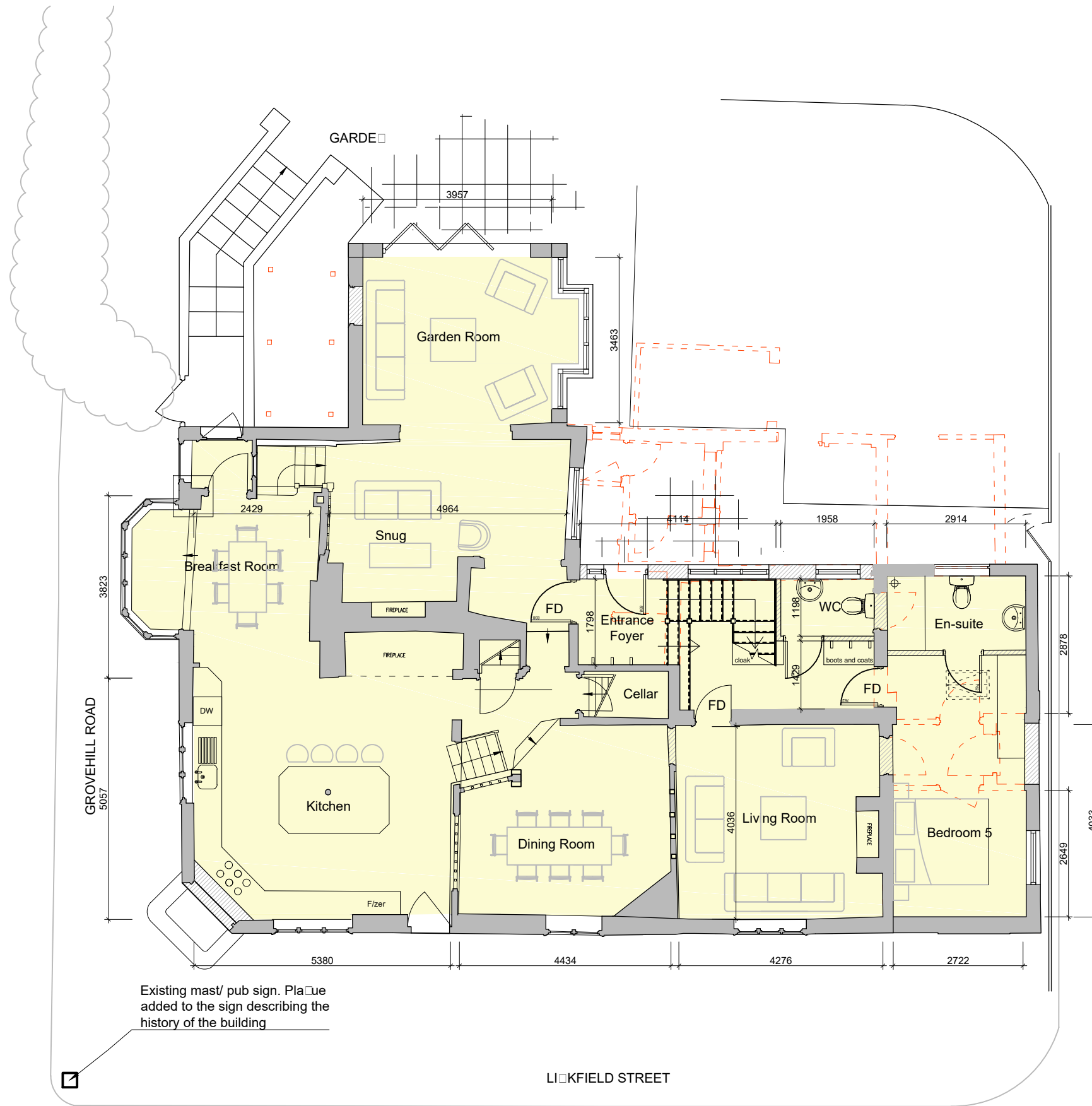
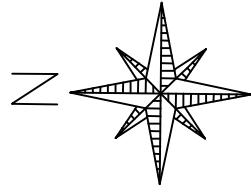
Project:
White Lion, 40 Linkfield Street
Redhill, RH1 6BY

Drawing Title:
Proposed Elevations
New dwellings

Scale: 1:100 @ A3
Date: Mar 22
Drawn by: CC

Drawing No: 22819/320
Revision: H

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Do not scale from this drawing. Figured dimensions only to be taken. Check all dimensions prior to setting out. Report all discrepancies to the Architect.

Revisions

A	updated to client comments	31.03.22
B	updated to client comments	06.04.22
C	updated to client comments	13.04.22
D	updated to client comments	25.04.22
E	updated to client comments	03.05.22
F	updated to match site amendments to CO comments	15.08.23

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Project:
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 Redhill, RH1 6BY

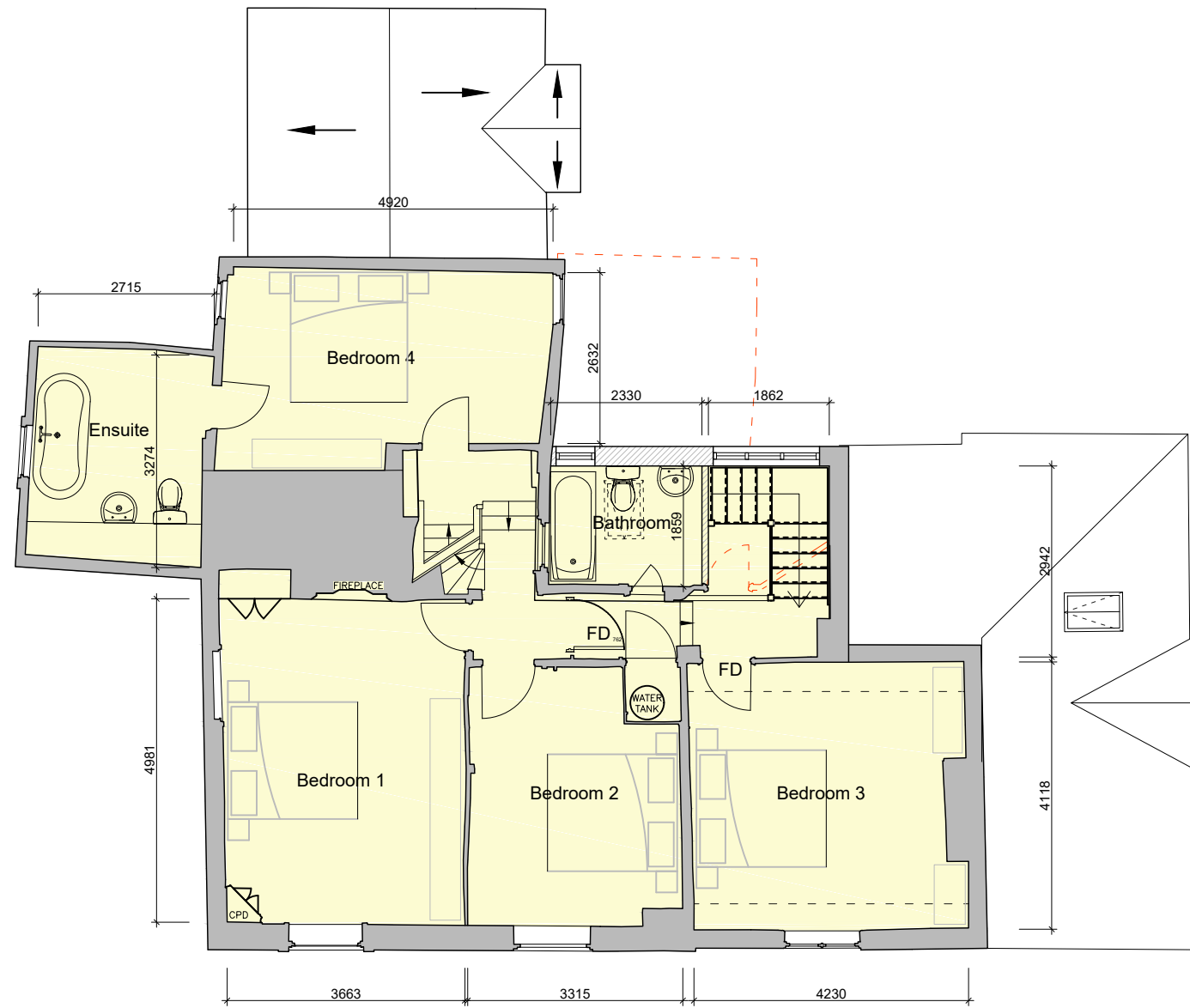
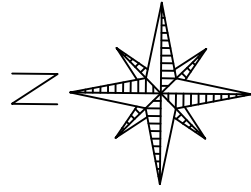
Drawing Title:
 Proposed Ground Floor Plan
 Pub Conversion

Scale: 1:100 @ A3
Date: Mar 22
Drawn by: JD

Drawing No: 22819/210
Revision: F

Proposed Ground Floor Plan
 Scale 1:100

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Revisions

A	updated to client comments	31.03.22
B	updated to client comments	06.03.22

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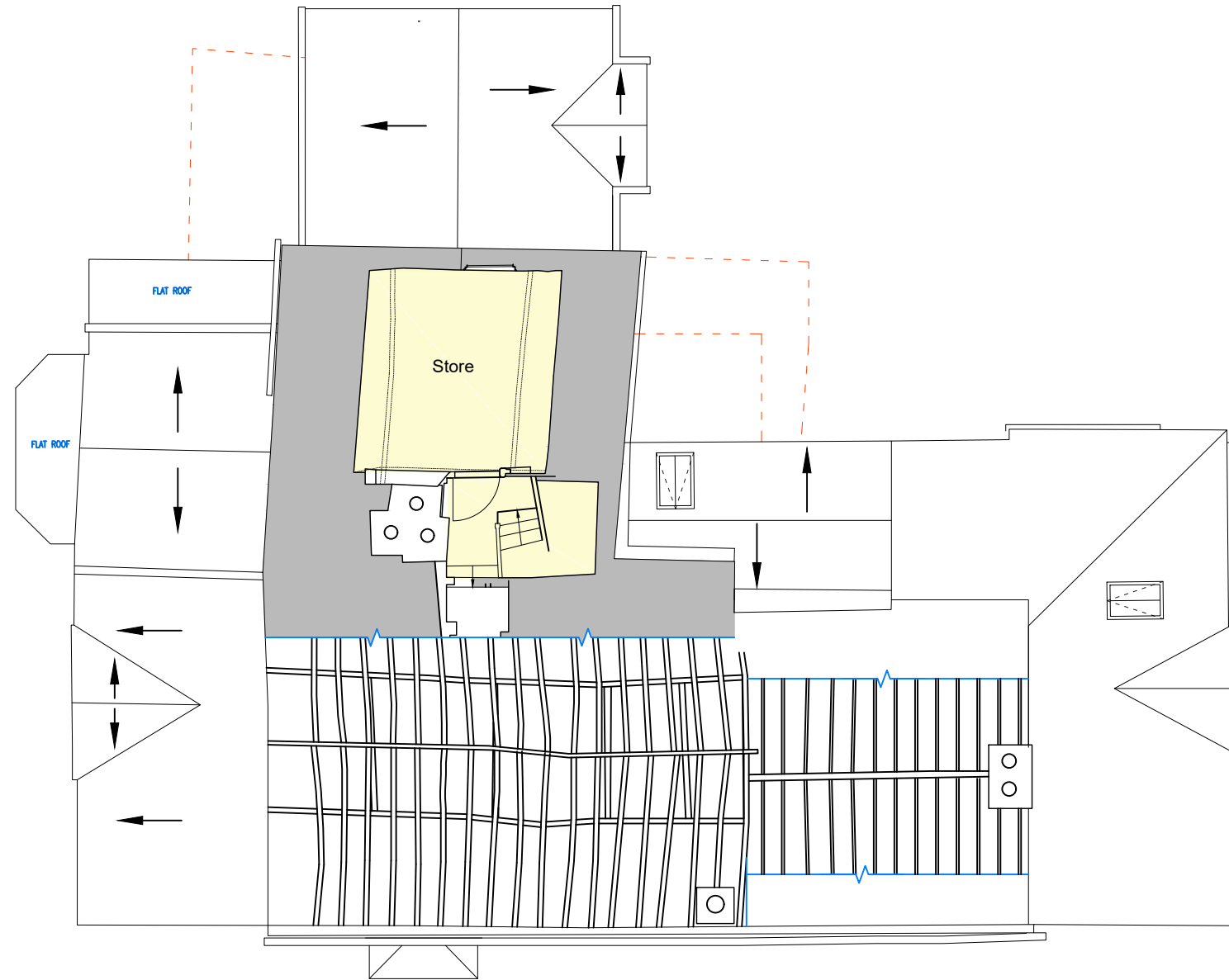
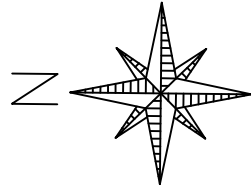
Drawing Title:
 Proposed First Floor Plan
 Pub Conversion

Scale: 1:100 @ A3
Date: Mar 22
Drawn by: JD

Drawing No: 22819/211
Revision: B

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Proposed First Floor Plan
 Scale 1:100



Proposed First Floor Plan
Scale 1:100

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Revisions

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Client:
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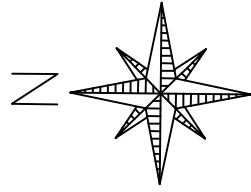
Project:
White Lion, 40 Linkfield Street
Redhill, RH1 6BY

Drawing Title:
Proposed Second Floor Plan
Pub Conversion

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Date: Mar 22
Drawn by: JD

Drawing No: 22819/211
Revision: -

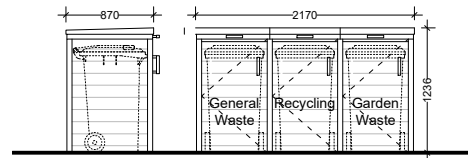
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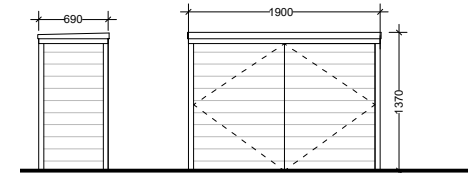
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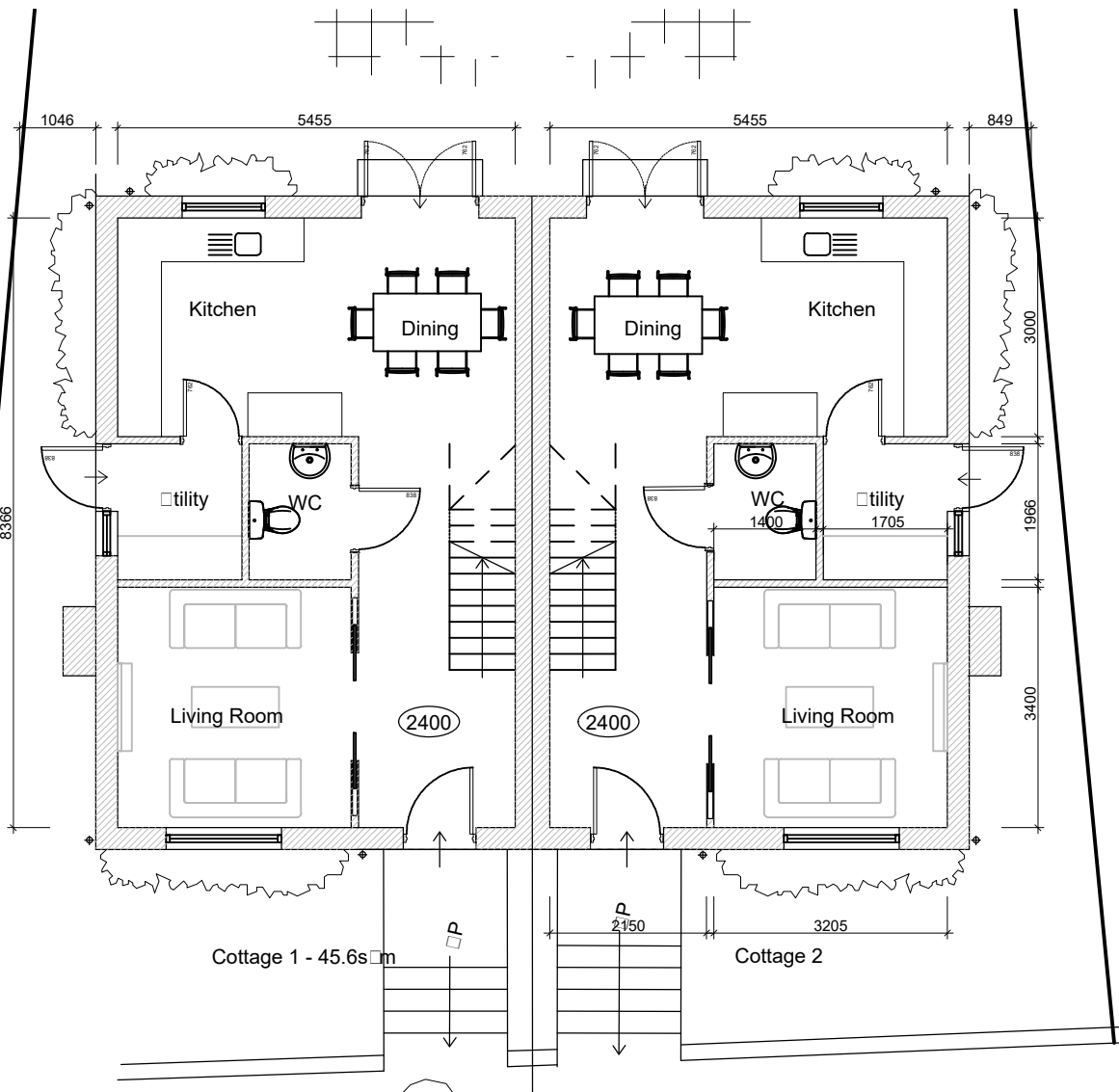
SCALE BAR 1:75



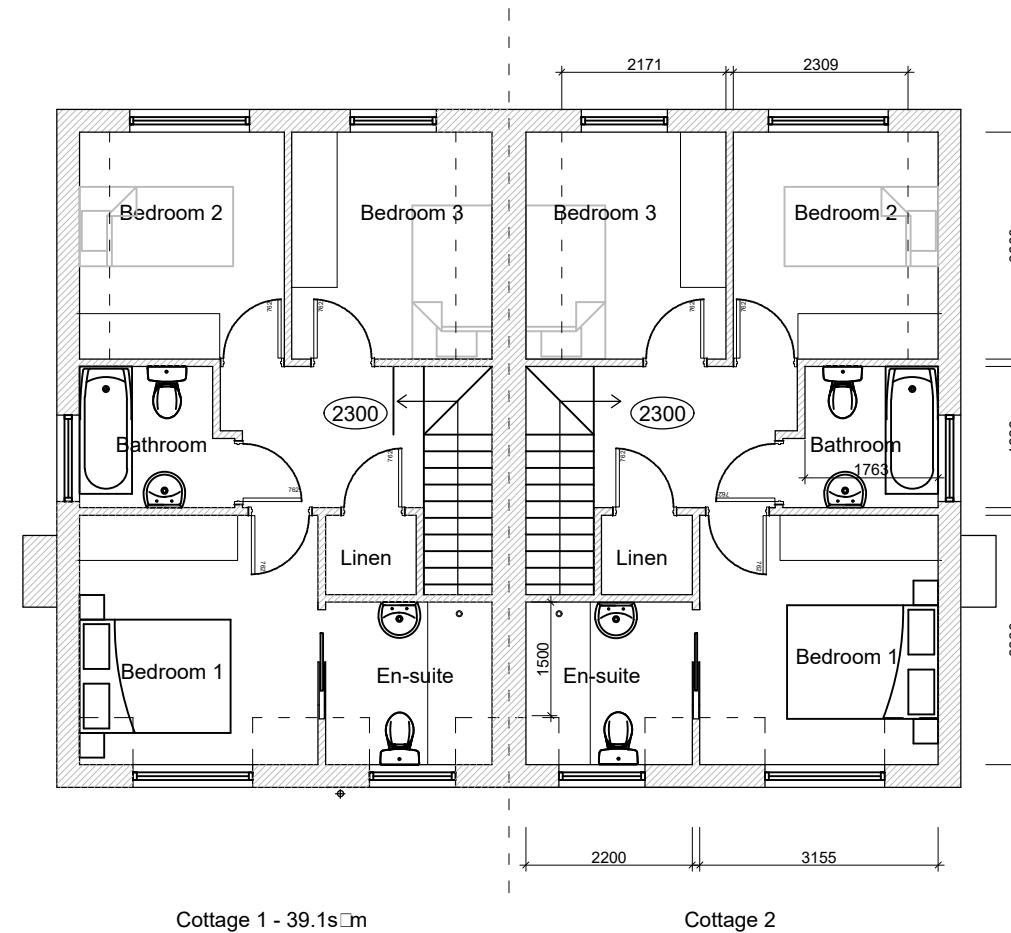
Proposed Refuse Store
1:75



Proposed Cycle Store
1:75



Proposed Ground Floor Plan
Scale 1:100



Proposed First Floor Plan
Scale 1:100

Gross Internal Floor Area:

Ground Floor 45.6sqm
First Floor 39.1sqm
Total 84.7sqm

Do not scale from this drawing. Figured dimensions only to be taken. Check all dimensions prior to setting out. Report all discrepancies to the Architect.

Revisions

Revision	Description	Date	By
A	updated to clients comments	21.03.22	CC
B	updated to clients comments	24.03.22	CC
C	updated to clients comments	29.03.22	CC
D	updated to PC comments	10.05.22	CC
E	Location and width of Cottages 1 and 2 updated following pre-app comments	31.08.22	CC
F	updated to PO comments	28.03.23	CC
G	updated to CO comments	27.06.23	JD
H	updated to CO comments	25.07.23	JD

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Client:
Aaliyah Developments

Project:
White Lion, 40 Linkfield Street
Redhill, RH1 6BY

Drawing Title:
Proposed Floor Plans
New dwellings

Scale: 1:100 @ A3
Date: Mar 22
Drawn by: CC

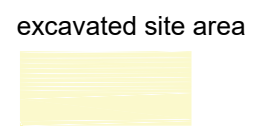
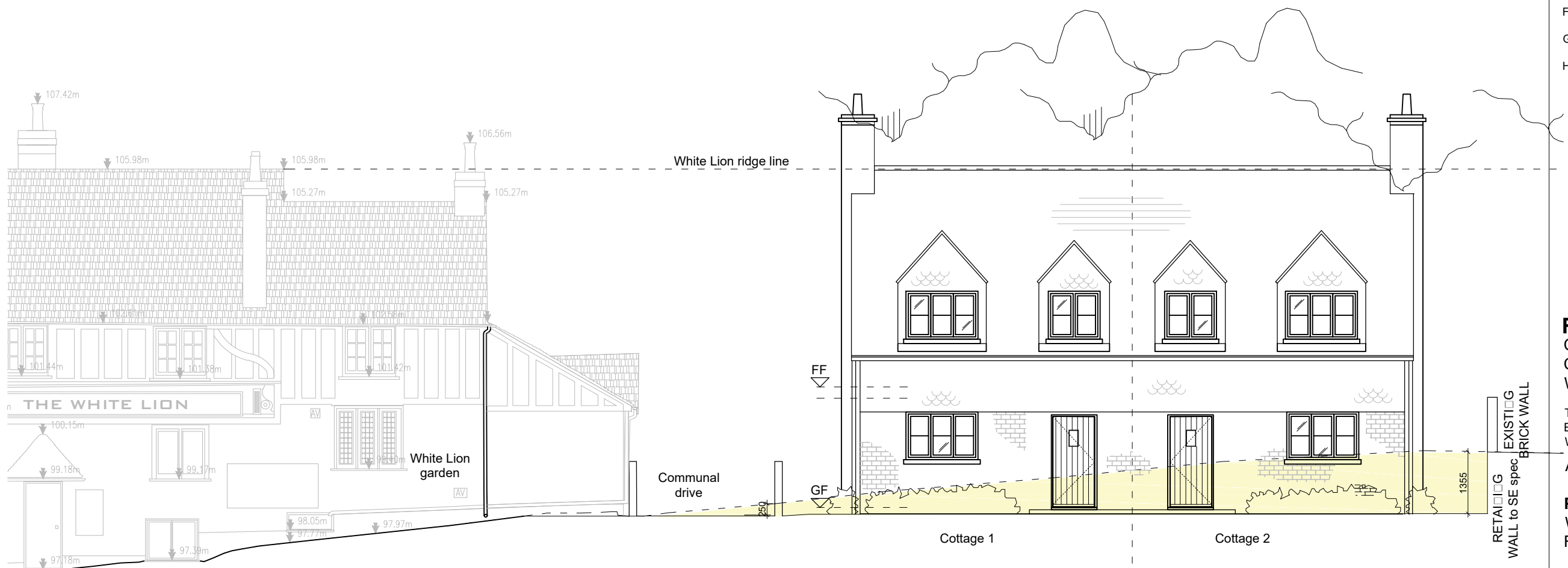
Drawing No: 22819/310
Revision: H

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Do not scale from this drawing. Figured dimensions only to be taken. Check all dimensions prior to setting out. Report all discrepancies to the Architect.

Revisions

A	updated to clients comments	21.03.22	CC
B	updated to clients comments	24.03.22	CC
C	updated to clients comments	16.05.22	CC
D	Location and width of Cottages 1 and 2 updated following pre-app comments	31.08.22	CC
E	updated following pre-app advice	18.10.22	CC
F	updated to PO comments	28.03.23	CC
G	updated to CO comments	27.06.23	JD
H	updated to CO comments	25.07.23	JD



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Aaliyah Developments

Project:
 White Lion, 40 Linkfield Street
 Redhill, RH1 6BY

Drawing Title:
 Proposed Site Section
 New dwellings

Scale: 1:100 @ A3
Date: Mar 22
Drawn by: CC

Drawing No: 22819/321
Revision: H



SCALE BAR 1:100

Proposed Site Section
 Scale 1:100

< Original size 60mm - A3 at full size >